



56 Barlow Street, WILSONTON, QLD 4350

Position & Views, Style and Size, at an affordable Price.

Sellers instructions are clear, they welcome all reasonable offers. This contemporary low set brick four-bedroom, two-bathroom, two-car garage home offers "Position Position with Outstanding Views! Built in 2003, this steel frame home offers style and spaciousness right through the whole home making it the perfect blend of comfort and functionality, ideal for family living.

The great street appeal sets the tone for what lies within. This home caters to the needs of modern living, with a large central formal lounge or family room that provide ample space for relaxation and entertainment. It connects with the open plan casual living and dining and kitchen. These areas open out to the generous covered alfresco outdoor entertaining area which is the real 'PiÃce De RÃ©sistance' of the home. From here you will enjoy the fabulous uninterrupted sweeping views to the south over Toowoomba City enjoying the outlook by day and the lights of the City and Clifford Park Race Course are spectacular of an evening. Never to be built out or compromised, these great views will be enjoyed whilst you alfresco dine and entertain family and friends for evermore. It's the perfect spot to unwind and take in the serene surroundings. The home comes with a barbeque and an external natural as point is fitting to this area.

The heart of the home is the galley kitchen, it is a chef's delight. It is well appointed with a natural gas cooktop, a One and a Half electric oven, new dishwasher, pantry, plenty

The particulars contained herein are supplied for information only and shall not be taken as a representation in any respect on the part of the vendor or its agent. Interested parties should contact the nominated person or office for full and current details.

TYPE: Sold

INTERNET ID: 300P131149

SALE DETAILS

Interest Above
\$649,000 Negotiable

CONTACT DETAILS

**Elders Real Estate
Toowoomba**
202 Hume Street
Toowoomba, QLD
07 4633 6500

Murray Troy
0400 772 210

of storage and bench space. The black colour theme of the oven and cook top are matched with the large modern black fridge and microwave that are also included in the sale.

The home boasts ceiling fans in the living room and in every bedroom which also have built in robes. The ceiling fans and air-conditioner ensures a comfortable and cool atmosphere year-round. The master bedroom suite features a large ensuite with twin vanities, a generous walk-in robe, and it also opens out directly to the rear entertaining area, doubling as a private parents retreat in which to relax and enjoy the views.

The main bathroom is a sanctuary in itself. It features an especially deep bath to thoroughly enjoy a long relaxing bath for yourself, or for the practicality of the kids, and a separate shower for you're the convenience of a busy family. The laundry is located just nearby for easy management of the washing.

For the energy conscious, the house is equipped with the Instantaneous Gas Hot Water System supplied by natural gas from the mains street supply. And a Solar System with Inverter & 6 Solar Panels contributes to your energy efficiency and reducing your power bills. The property is connected to the town water supply, plus there is a 1000 litre and 500 litre space saver rainwater tanks as an additional reliable water source for your everyday needs.

Other features are;

NBN connection is FTTP.

Gas Heater in Formal Lounge

Reverse Cycle Air Conditioning to the Casual Living & Dining Room

Fully Fenced secure front and rear yard.

Double Remote Garage

Crimsafe Front Screen Door and Security Screens on all other Windows and Doors

New Compliant Smoke Alarms are Installed

Garden Shed

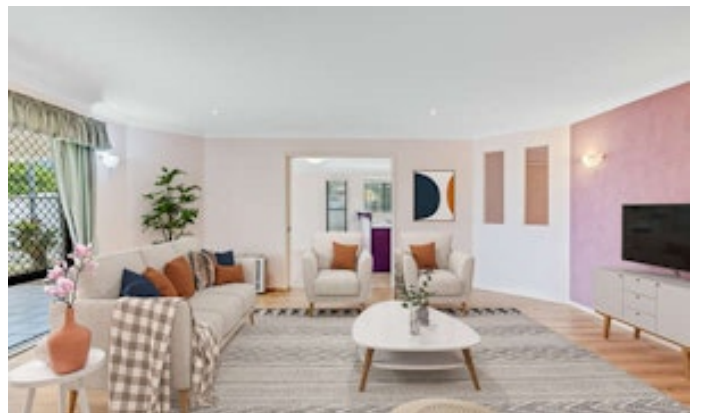
Veggie Patch/Green House

The home is conveniently located close to a host of essential services including the St Andrews Hospital, and the site for the New Toowoomba Base Hospital soon to be built. The fabulous re vamped Wilsonton Shopping Centre, and Food Hub, Medical Centre, are just minutes away as are your choice of the Wilsonton Primary & Secondary Schools, Fairview heights, Sacred Heart, and Glenvale Christian School are all nearby. The Toowoomba School Bus network provides transport for student to access any School of your choice throughout Toowoomba. Clifford Gardens and Northpoint Shopping Centres are just 10 minutes drive away, and Grand Central Shopping Centre and Toowoomba's CBD are just a few more minutes on further. The local Toowoomba Airport, the Wellcamp Airport, and access to the Toowoomba By Pass for a quick head start to Brisbane are all just minutes away from 56 Barlow Street, Wilsonton.

Create lasting memories with your loved ones here, where position meets comfort and practicality. Don't miss the opportunity to inspect this home by calling the Agent Murray Troy on 0400 772 210, or please attend one of our scheduled Open Homes.

Other features: Area Views, City Views, Close to Schools, Close to Shops

- Land Area 711.00 square metres
- Bedrooms: 4
- Bathrooms: 2
- Double garage











56 Barlow Street, **Wilsonton**

This plan is for representational purposes only. All dimensions displayed are approximate and shouldn't be solely relied upon. Floorplan by Statik Illusions.

Internal **204m²** External **32m²** Total **236m²**